

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: March 24, 2005

ITEM NO. 3

CASE NUMBER/ PROJECT NAME	80-DR-2003#2 Northsight Pads 3 & 4		
LOCATION	14826 & 14884 N Pima Road		
REQUEST	Request site plan and elevations approval for Northsight pad 3 (retail building) and pad 4 (Islands Restaurant).		
OWNER	Raintree Pads 3 & 4, LLC 913-262-6685	ENGINEER	JMA Engineering 602-248-0286
ARCHITECT/ DESIGNER	ADW Architects, PA 704-379-1919	APPLICANT/ COORDINATOR	Robert Lauer ADW Architects, PA 704-379-1919
BACKGROUND	<p>Zoning.</p> <p>The subject property is zoned Central Business District (C-2), which allows a variety of commercial uses including general retail and restaurants.</p> <p>The C-2 zoning district requires a conditional use permit for a bar. Because the Islands is a restaurant with a bar component, staff requested specific information about the Islands operations and floor plan to ensure that the use is not considered a bar as defined in the City's zoning code. Based on the information provided, staff has determined that the proposed use does not meet the definition of a bar.</p> <p>Context.</p> <p>Surrounding properties are zoned C-2, and include a bank to the south, and retail to the north and west (Kohl's department store). The Loop 101 frontage road (Pima) is located immediately east of the project.</p>		
APPLICANT'S PROPOSAL	<p>Development Information.</p> <ul style="list-style-type: none">• Existing Use: Vacant land• Parcel Size: 129,168 square feet• Retail Building Square Footage: 17,000 square feet• Islands Restaurant Square Footage: 5,450 square feet• Total Square Footage: 22,450 square feet• Parking Required/Provided: 90 spaces / 138 spaces• Building Height Allowed/Proposed: 36 feet / 24 feet 6 inches		

Background.

This site received DRB approval in February of 2004 for a multiple tenant retail building and a single tenant retail building intended for a golf shop. The developer is now requesting DRB approval for a site plan modification to swap the placement of the retail shops and single-tenant building. The single-tenant building (intended for the Islands Restaurant) is now shown on the south side of the site instead of the north where it was originally proposed. The building architecture for the retail shops is the same as what was approved by the DRB in 2004 for the golf and retail shops. The Islands Restaurant architecture is different from what was originally approved, but the colors are compatible with the proposed retail shops and the architecture is in character with the Northsight retail development area.

Applicant's Request.

The applicant is showing a site plan with buildings placed along the Pima Frontage Road, but oriented towards 87th Street to the east. Parking is located between the buildings and street and is accessed by three driveways into the site, two of which are shared with adjacent development to the north and south.

Building architecture for the retail shops includes stucco and concrete masonry units (cmu) in shades of tan and rust. Accent colors include gray (used on columns), and blue (used on the metal tubing and aluminum window frames). Stone veneer is used at the base of the columns and around the main entrances.

The Islands Restaurant exterior is plaster finish in shades of tan and rust. Stone veneer is used around the main entrance, on columns, on the low patio wall and on some wainscot locations. The building includes wood trellises located on the east (freeway) side and west (dining patio) side. The dining patio trellis includes a fabric shade panel, which the applicant intends to be blue to match the awnings. Wood also is used for the window frames and the sides of the window shades, which are then covered in blue fabric awnings with green and yellow trim fabric.

The plant palette for the project contains mainly Palo Verde and mesquite trees, and low-water use shrubs, accents and groundcovers, including a number of flowering species. Sissoo trees, Mexican Fan Palms, and Texas Ebony are added around the Islands Restaurant pad, and are more densely planted next to the north outdoor (waiting) patio area. Three palms and a Palo Verde tree are used to provide interest and shade to the dining patio, located on the west elevation. The applicant has agreed to revise the landscape plan to provide 5 additional trees along the Pima Frontage Road (total of 12 trees along the frontage) and to boost the size of fifty percent of the trees to 3 inch caliper for single trunk and 2 inch caliper for multi-trunk trees, as addressed in the stipulations.

KEY ISSUES

There are two key issues that relate to the awnings used in the Islands' Restaurant architecture. First, the applicant proposes fabric awnings with trim striping. In the past, staff has encouraged applicants to use a more durable, quality material such as metal or wood, although solid-colored fabric awnings

have also been allowed, especially on restaurants. In this case, the awning fabric is a bright blue color with some trim striping in green and yellow. While these awnings are not a solid color, the trim striping appears minimal, and staff has not included a stipulation to remove the green and yellow rim.

Second, the Islands Restaurant architecture includes gooseneck lighting of the awnings. In the past, the DRB has not supported lighting that serves only to illuminate building features for a billboard, or signage effect. The Islands' Restaurant has agreed to the included stipulation to delete the illumination of the awnings.

STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

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APPROVED BY

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ATTACHMENTS

1. Applicant Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Elevations Pad #3 & #4
6. Elevations Islands Restaurant
7. Landscape Plan Pad #3&4
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

Project Name: Northsight Pads 3 & 4

Project Narrative:

The site is located north of the N.W.C. of Raintree Drive and SR 101. The gross area of the site is +/- 129,168 s.f. (+/- 2.97 acres), with a net area of +/- 118,118 s.f. (+/- 2.71 acres). The site has been designed for a restaurant and multi-tenant retail building with potential restaurant space. The site is accessed by way of State Route 101 Frontage Road (southbound) and uses internal private drives to the parking lot west of the buildings. The remaining sides allow for building setbacks and landscape areas. The land is currently zoned as C-2 and is vacant.

The proposed Islands Restaurant is approximately 5,450 s.f. The building will be designed for single-story construction using masonry walls, wood roof structure and a canopy system above exterior dining and waiting areas. The Islands Restaurant will apply for a building permit.

The proposed multi-tenant retail building is approximately 17,000 s.f. with potential restaurant space. The building will be designed for single-story construction using masonry walls, wood roof structure and a canopy system along the pedestrian areas. The multi-tenant retail building will apply for a gray shell permit with tenant improvement permits to follow as needed.

The total parking space requirement is fulfilled with 139 spaces. A parking factor of 1:250 was used for the entire site. The accessible parking spaces have been located at the front elevation for best accessibility. The surrounding landscape areas and parking lot islands will be landscaped per city standards.

Two trash enclosures are located to meet City of Scottsdale access requirements. A single refuse enclosure with grease containment area is located adjacent to the proposed Islands Restaurant. A double refuse enclosure with grease containment area is located in the parking lot for use by the tenants of the multi-tenant retail building.

The design theme of the project acknowledges the vehicular visibility from all directions by providing a variety of forms, colors, and textures. The color palette is derived from adjacent projects to ensure compatibility with the surrounding architectural environment. The use of stone accents the area of highest activity. The overhead shade canopy presents an opportunity for outdoor activity and dining. Split-face masonry is used to accent the canopy structure and provides a complimentary contrast to the painted horizontal metal accents and signage bands. The site wall located along the frontage road emulates the building shapes. Their curved shape, along with the surrounding landscaping, buffer the roadway from the building.

The proposed site will be compatible with the surrounding area by introducing retail services and dining facilities.

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12/7/2004



Northsight Pads 3 & 4

80-DR-2003#2

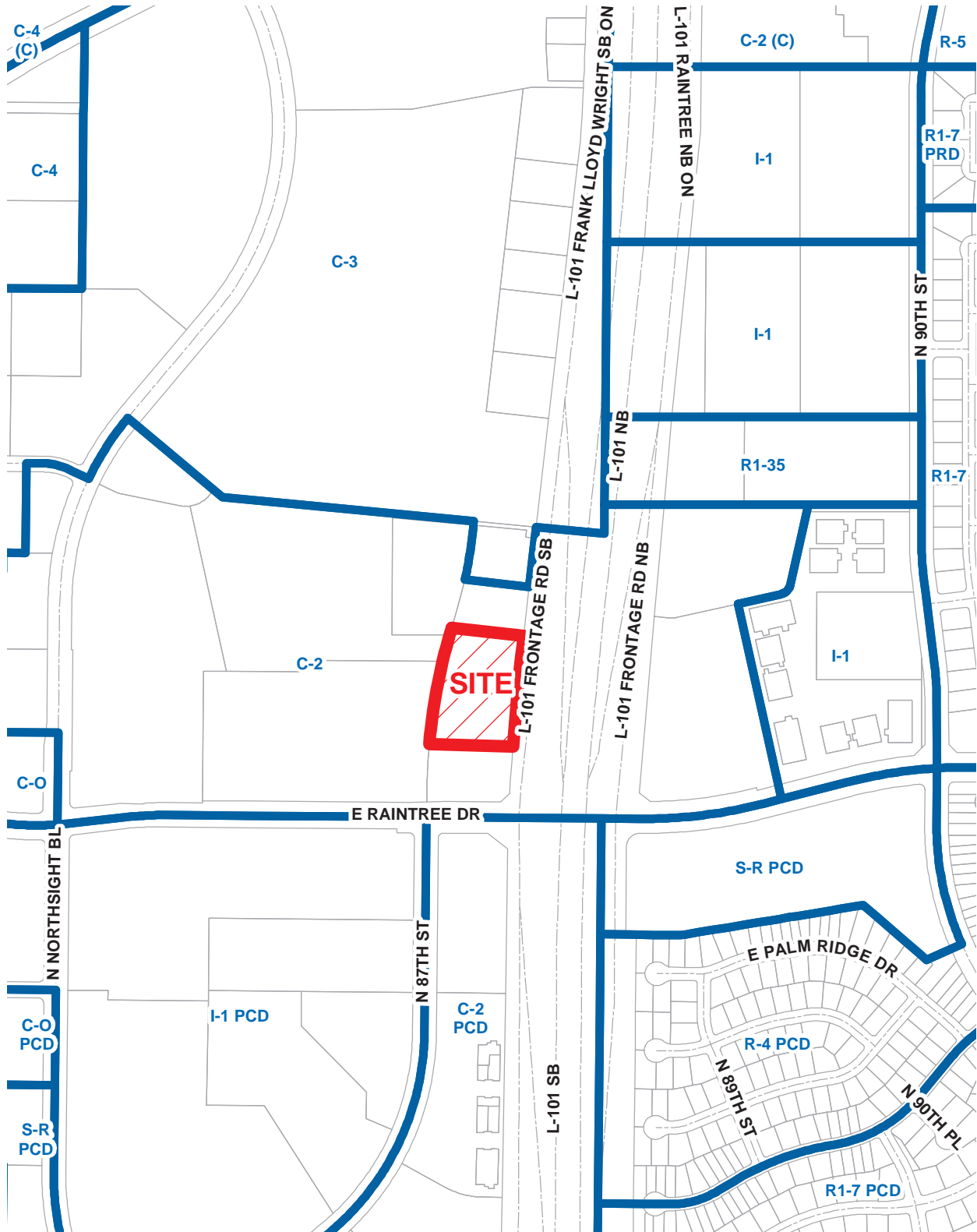
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Northsight Pads 3 & 4

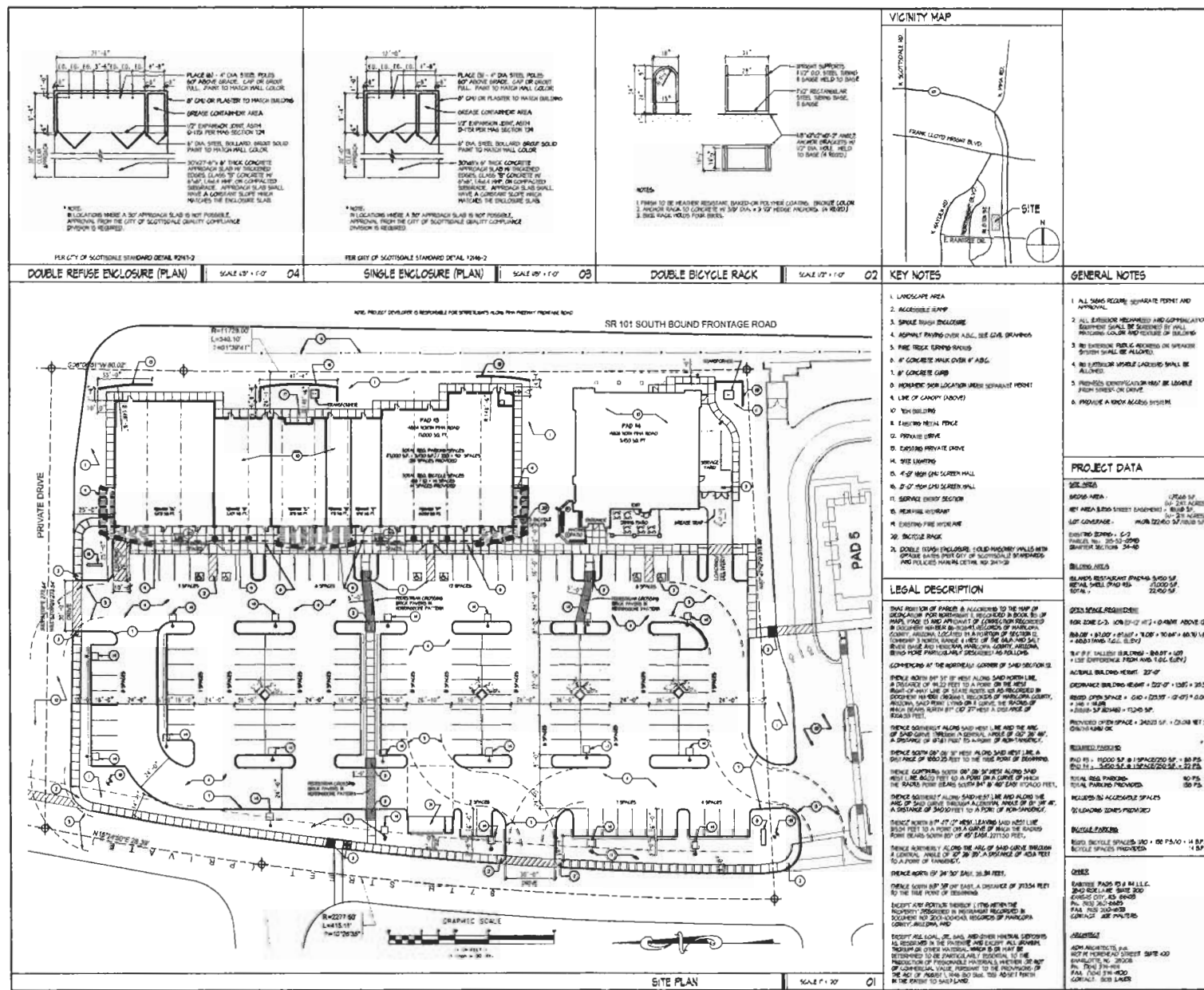
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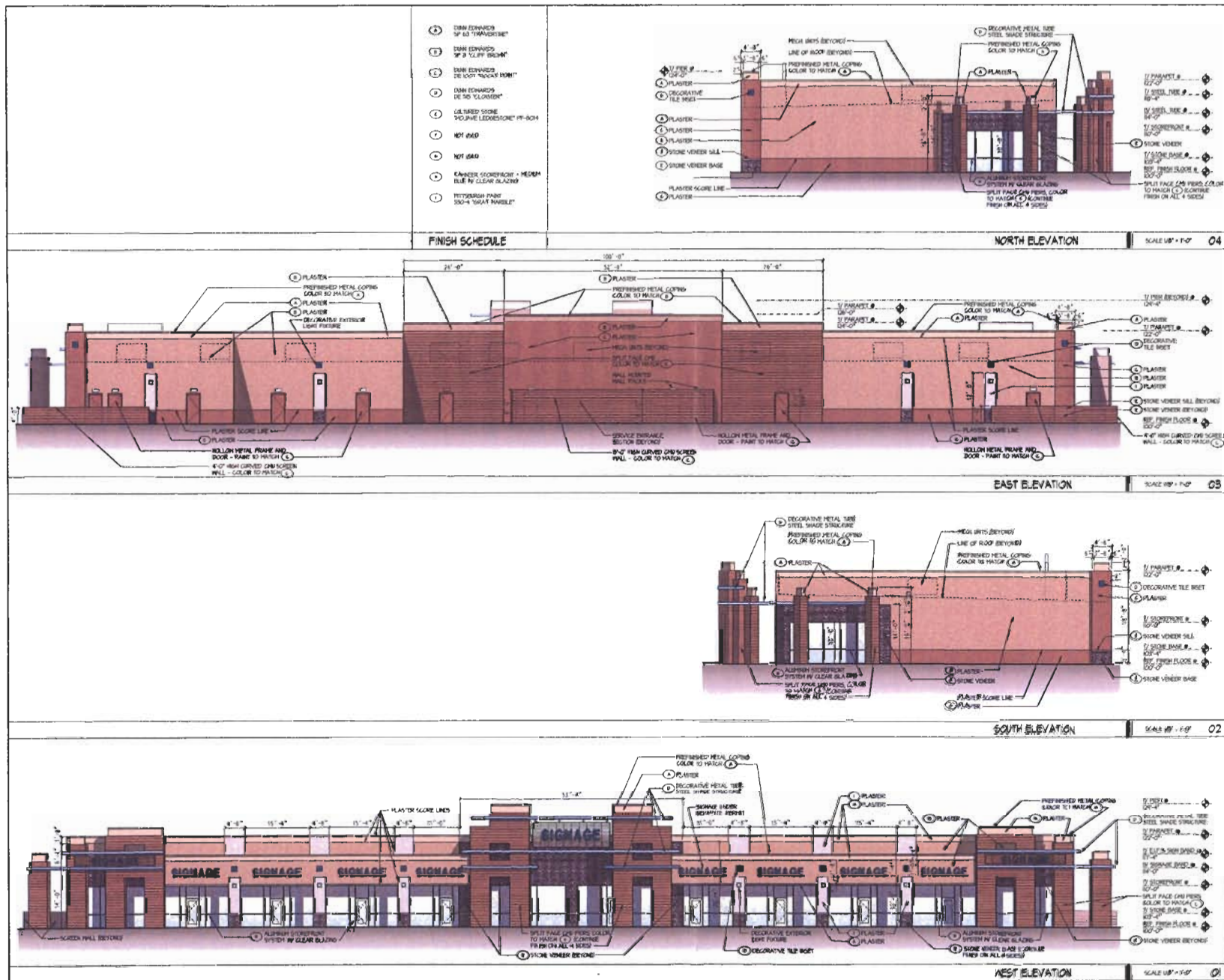
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80-DR-2003#2

ATTACHMENT #3





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**Northsight
Pad #3 & #4**

Scottsdale,
Arizona

**EXTERIOR
ELEVATIONS**

AWD: 1/20/2003 JAW: 1/20/2003
REVISED: 1/20/2003
BY: JAW: 1/20/2003

80-DR-2003#2
REV: 1/27/2005

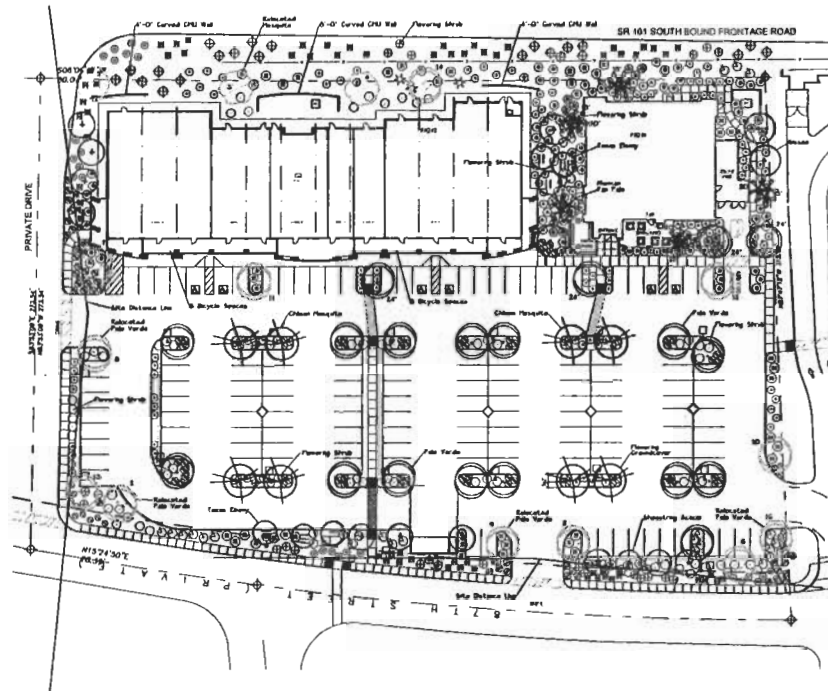
SHEET NUMBER
A200

Architectural elevation drawing of a building facade. The drawing includes several callouts for materials and finishes:

- 10** STONE LOW WALL - SEE DETAIL BELOW
- 11** PLAT CONCRETE TILE ROOF
- 12** STONE VENEER - LEDGER
- 13** CORRUGATED METAL AWNING TYP (11)
- 14** DOUBLE PANE CLEAR GLASS (TEMPERED WHERE ROOF)
- 15** SHEET METAL COPING - PAINTED
- 16** PLASTER FINISH - PAINTED
- 17** WOOD TRELLIS W/ FABRIC SHADE PANELS TYP (14)
- 18** CANVAS AWNING TYP (15)
- 19** WOOD SHUTTERS TYP (16)
- 20** PLASTER RELIEF TYP (17)

The drawing shows a building with a mix of materials, including stone, concrete, metal, and wood. There are palm trees in the foreground and background. The building has a sign that says "ISLANDS".

[illegible]



LANDSCAPE PLAN

SCALE 1"=30'-0"

0 30 60 120



PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE	Height, Caliper & Color	QUANTITY
Existing Trees					
1	(A)	Cercocarpus floridanus Palm Yards	EXISTING AS RELOCATED		12
2	(B)	Prunus mexicana Palm Yards	EXISTING AS RELOCATED		3
TREES					
1	(A)	Eubryonia densa Shrub	24" Box 10' 4" 125'		3
2	(B)	Portulaca floridanus Palm Yards	24" Box 7.5' 4.0' 1.5' 15' Cal. & 2' 75'		4
3	(C)	Quercus floridanus Texas Elm	36" Box 8' 5' 2.5'		6
4	(D)	Prunus mexicana Palm Yards	36" Box 10' 8' 2.5'		8
5	(E)	Washingtonia robusta Palm Yards	12'-20' Tall Sca. plan		11
SUCCULENTS					
6	(F)	Portulaca oleraceus Shrub	4" to 6" 4 to 5 coars		3
SHRUBS					
7	(G)	Artemisia californica Shrub	5 Galon		21
8	(H)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		46
9	(I)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		26
10	(J)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		137
11	(K)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		71
12	(L)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		70
13	(M)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		25
14	(N)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		66
15	(O)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		24
GROUNDCOVERS					
16	(P)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	1 Galon		47
17	(Q)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	1 Galon		39
ACCENTS					
18	(R)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		6
19	(S)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		15
20	(T)	Artemisia californica Shrub 5' 5' 5' 5' 5' 5'	5 Galon		24
LANDSCAPE MATERIALS					
21	(U)	Decomposed Granite Palm Yards	1/2" w/c		
22	(V)	Decomposed Granite Palm Yards	2" Deep		

NOTES

- LANDSCAPE CONTRACTOR TO INSTALL QUANTITIES AS SHOWN ON PLAN
 DECOMPOSED GRANITE TO OCCUR IN ALL AREAS EXCEPT TURF RIVER ROCK
 AND HARDSCAPE UNLESS NOTED ON PLANS
 NO LANDSCAPING WITHIN 5'-0" OF ALL FIRE HYDRANTS AND THE REMOTE F.D.C.



CC
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Northsight
Pad #3 & #4Scottsdale,
ArizonaPRELIMINARY
LANDSCAPE PLAN

DATE: 01/11/05 JOB NO: 0407

REVISIONS

NO. DATE DESCRIPTION

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Islands Restaurant
14884 & 14826 N. Pima Road
Scottsdale, Arizona

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☐ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.
as shown
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☒ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☒ 7. SUBMIT PLANS FOR A CLASS B FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°.
- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16") TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF AT GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S)
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC.
 A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
 - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF 3 CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS REQUIRED.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☒ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Islands Restaurant 80-DR-2003#2

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevation sheet A200 submitted by ADW Architects, p.a. with a staff receipt date of 1/27/2005 and the building elevation sheet submitted by Lee & Sakahara Architects with a staff receipt date of 2/15/2005.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan sheet A002 submitted by ADW Architects, p.a. with a staff receipt date of 1/27/2005.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan sheet L1.0 submitted by The Campbell Collaborative with a staff receipt date of 2/15/2005.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. Awnings shall be non-illuminated.
3. The face of the service entrance section(s) internal or completely screened by a wall matching the architectural materials, colors, and finishes of the building to which it is attached.
4. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
5. All exterior conduit and raceways shall be painted to match the building.
6. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
7. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s).
10. Stone shall wrap the building features to which they are attached, such as columns, to an inside corner.
11. Windows shall be recessed a minimum of 50% of the wall thickness and doors shall be recessed a minimum of 30% of the wall thickness.
12. Glazing shall be clear.

Ordinance

- A. Signs are by separate permit and approval.

SITE DESIGN:

Ordinance

- B. Work in the ADOT Right-of-Way requires an ADOT permit.

LANDSCAPE DESIGN:

DRB Stipulations

13. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
14. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.
15. Fifty percent of trees shall have a minimum 3 inch caliper for single trunk growth form and a minimum of 2 inch average for multi-trunk growth form.
16. A minimum of twelve (12) total trees shall be planted on lot along the Pima Frontage Road, to the east of the buildings.
17. No shrub or ground cover having a maximum regional growth habit exceeding 2 feet in height shall be planted within the sight visibility triangles as defined by the City of Scottsdale Design Standards and Policies Manual, Section 3.1, Figures 13 and 14. For this site, the triangle defined in Figure 13 shall be applied at the intersection of all site access drives with private drives bordering the site. Figure 14 shall be applied at the intersection of private drives with private drives bordering the site, and at the intersection of private drives with public streets bordering the site.
18. The owner shall be responsible for the installation and maintenance of the landscape improvements located between the eastern property line and the back of curb of the future southbound Pima Freeway Frontage Road (within ADOT right-of-way), to the satisfaction of the City of Scottsdale's Construction and Design Director. Before any landscaping improvements commence within the ADOT right-of-way, the applicant shall apply for and receive an ADOT encroachment permit, to the satisfaction of City staff.

Ordinance

- C. Work in the ADOT Right-of-Way requires an ADOT permit.

EXTERIOR LIGHTING DESIGN:

DRB Stipulations

19. The gooseneck lamps used to down-light the awnings shall not be permitted.
20. All exterior luminaries shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for parking lot canopy and landscape lighting.
21. Landscape lighting shall be low-voltage and not capable of supporting a lamp exceeding 50 watts, have extensor visor shields and not be located or directed to illuminate the building.
22. The individual luminary shall not exceed 250 watts.
23. The maximum height from finished graded to the bottom of the any exterior luminary shall not exceed 20 feet.
24. All exterior light poles, pole fixtures, and yokes, shall be a flat black or dark bronze.
25. Incorporate into the project's design, the following:
Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 2.5 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 10.0 foot-candles. All exterior luminaries shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaries shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.
- e. The maintained average horizontal illuminance at grade within ten feet of storefront entries and windows, including any spill light from store interior, shall not exceed the maintained average horizontal illuminance level at grade of (5) foot-candles. The maintained maximum horizontal illuminance level at grade within ten feet of storefront entries and windows, including any spill light from the store interior shall not exceed fifteen (15) foot-candles.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- 26. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 27. No exterior vending or display shall be allowed.
- 28. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 29. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- D. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were: 5-ZN-1998.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

30. Architectural Site Plan, dated 10/24/04, prepared by ADW Architects, dated 1/27/05 by City Staff.
31. Conceptual Grading and Drainage Plan, dated 1/27/05, prepared by JMA Engineering Corporation, dated 1/27/05 by City Staff.
32. Preliminary Drainage Report, dated 10/23/03, prepared by JMA Engineering Corporation, dated 1/27/05 by City Staff.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

33. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
34. Demonstrate consistency with the approved master drainage plan and report for Northsight Commercial Development, prepared by Gilbertson Associates, Inc. dated January 17, 2002, revised January 28, 2002.
 - a. Any design that modifies the approved master drainage report requires from the developer a site-specific addendum to the final drainage report and plan, subject to review and approval by the city staff.
 - b. Addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
 - c. A copy of the approved master drainage plan and report shall be provided with final plan submittal.
35. Basin Configuration:
 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
 - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
36. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
 - a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- E. On 12/21/04, the City's Stormwater Management Division approved a Stormwater Storage Waiver for this development. This approval is based on the following conditions:
 - (1) The retention has been provided by Master Drainage Plan for Northsight development.
- F. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.

G. Underground Stormwater Storage:

- (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
- (2) Drywells are not permitted.

H. Street Crossings:

- (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:**Streets and other related improvements:**

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
87 th Street	Private Drive	N/A	N/A		N/A

DRB Stipulations

37. If a gated entrance is proposed, the developer shall design and construct the gated entrance in conformance to Figure 8.1-1 of the City's Design Standards and Policies Manual.
38. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.
39. Access to this site is provided at 3 driveways, one on 87th Street, one shared driveway along the private drive aisle at the north property line and the third one to be shared with Bank of America at the south property line. The developer shall design and construct these driveways in general conformance with detail number 2257 (CH-1 type).
40. The developer shall provide cross access easements with the adjacent properties to the north and to the south. Temporary construction easements from adjacent property owners shall be required for proposed construction work on adjacent properties.

Ordinance

- I. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.
- J. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

INTERNAL CIRCULATION:**DRB Stipulations**

41. The developer shall provide a minimum parking-aisle width of 24 feet.
42. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
43. The developer shall provide a raised pedestrian crossing at easterly drive aisle near buildings.
44. ADA sidewalk ramps shall be provided at all driveways.

Ordinance

- K. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

EASEMENTS AND DEDICATIONS

EASEMENT / DEDICATION	DESCRIPTION
Cross Access Easement	With the adjacent property to the north and south
Temporary construction easement	For construction on adjacent property(ies)
Access Easement	To the monitoring manhole

DRB Stipulations

45. Sight distance easements shall be dedicated over sight distance triangles.
- Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
 - Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
46. Vehicular Non-Access Easement:
- Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Pima Frontage Road except at the approved driveway location.
47. Indemnity Agreements:
- When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance**L. Drainage Easement:**

- Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

M. Waterline and Sanitary Sewer Easements:

- Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

N. Public Utility Easement:

- An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

REFUSE:**DRB Stipulations**

48. Architectural Site Plan, dated 10/24/04 and Conceptual Grading and Drainage Plan, dated 1/27/05 show a refuse enclosure adjacent to the proposed restaurant that is not in conformance with the City of Scottsdale Standard detail for Refuse Enclosure with Grease Containment. The refuse enclosure configuration has been approved as shown by Mark Powell, City of Scottsdale Service Coordinator, Solid Waste Department, (480) 312-5610.
49. Two refuse enclosures are required for this development. One refuse enclosure with grease containment shall be allocated for the exclusive use of the proposed restaurant and shall not be shared by other businesses on this site. The remaining single enclosure shall be used by all businesses on this site, except for the restaurant. Refuse enclosures shall be constructed to City of Scottsdale's standards, unless otherwise approved by the Solid Waste Department Service Coordinator. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1,2(2 is grease containment) for single enclosures and #2147-1,2(2 is grease containment) for double enclosures.
50. Enclosures must:
- Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
 - Be positioned to facilitate collection without "backtracking."
 - Be easily accessible by a simple route.
 - Not require backing more than 35 feet.
 - Not be located on dead-end parking aisles.
 - Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

O. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (3) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 SF, as shown above. For commercial buildings that include one or more restaurants, one refuse enclosure must be dedicated to each restaurant in addition to the number of enclosures needed based on the square footage of the commercial building, as shown above.

P. Underground vault-type containers are not allowed.

Q. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

R. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

51. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
- For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:**Ordinance**

- S. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

Private Sewer System

52. On-site sanitary sewer shall be privately owned and maintained.

Service Connections to the Main.

53. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

LOCATION & CLEARANCE.

- T. Privately owned sanitary sewer shall not run parallel within the waterline easement.

GREASE INTERCEPTORS.

- U. Grease interceptors shall be provided at restaurant connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.
- With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two (2) separate copies of the improvement plans, subject to City staff approval, for structural review.

CONSTRUCTION REQUIREMENTS**DRB Stipulations**

As-Built Plans.

54. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
- As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- V. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]